

Architectural Design Guidelines

Copperhaven

Stage 2

Prepared for Melcor Developments Ltd.
by Select Engineering Consultants Ltd.

March 2017 — DRAFT

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1

INTRODUCTION

1.1 Objective & Concept

The architectural theme outlined herein utilizes design elements that can be incorporated in a diverse range of styles, in a variety of applications. This framework encourages originality and individual expression while the pattern of coordinated design elements will establish the overall character of the neighbourhood. By promoting a consistent level of architectural detail, these guidelines will enhance the integrity of the development and ensure that each home adds value to the community. Each unit should attempt to integrate into the overall look of the area. It is key that the relative heights, massing and style of each home complement its neighbour and the overall style of the subdivision.

1.2 Contacts

Developer

Melcor Developments Ltd.
900, 10310 Jasper Avenue NW
Edmonton, Alberta T5J 1N8
780 423 6931
info@melcor.ca

Architectural Coordinator

Select Engineering Consultants Ltd.
100, 17413 107 Avenue NW
Edmonton, Alberta T5S 1E5
Tel: 780 651 5777 Fax: 780 651 5757
inquiries@selecteng.ca

Engineering Consultants

Select Engineering Consultants Ltd.
100, 17413 107 Avenue NW
Edmonton, Alberta T5S 1E5
Tel: 780 651 5777 Fax: 780 651 5757
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Land Surveyor

Pals Geomatics Corp.
10704 176 Street NW
Edmonton, Alberta T5S 1G7
Tel: 780 455 3177 Fax: 780 451 2047
edmonton@palsgeomatics.com

1.3 Limitations

1.3.1 Zoning

The formal standards for development will be those as established in the City of Spruce Grove Land Use Bylaw. Conformity with this document does not supersede the required approval process of the City of Spruce Grove. Relevant plans for utilities and rights-of-way should be consulted.

1.3.2 Governing Compliance

Design approval must be granted by the Developer prior to submitting applications for development and/or building permits from the City of Spruce Grove. All construction must comply with the appropriate building codes and municipal regulations.

1.3.3 Damages

Each builder/purchaser/owner is responsible for inspecting the condition of municipal improvements (curbs, sidewalks, driveway aprons, street lights, hydrants, cathodic protection points, fencing, boulevard landscaping, trees, and any other municipal utility service/improvement) on or adjacent to the lot and must list any damages, with pictures, in writing to the Developer within 14 days of purchasing the lot; otherwise, the cost for repairing any damages becomes the sole responsibility of the builder/purchaser. The cost to be deducted from the Security Deposit and invoiced for damages exceeding the Deposit.

1.3.4 No liability

The Developer, their Consultant, servants, agents, contractors, appointees, shall not be held responsible or liable for the accuracy, enforcement or compliance with these Design Guidelines to any Owner, Purchaser and/or Builder within the subdivision. The Purchaser shall be fully and solely responsible for all designs which follow these guidelines and for the conformance of such designs to the appropriate building codes.

1.3.5 Alterations

The guidelines contained herein may be altered, amended or varied by the Developer at its sole and absolute discretion at any time and without prior notice.

1.3.6 Disputes

The Developer and their Architectural Coordinator retain the full discretion to approve or disapprove any or all elements of proposed development or structure. Only the developer may enforce these guidelines, no purchaser of a lot may enforce these guidelines. Individual concerns will be adjudicated by the Developer, and their decision will be final. All builders/purchasers are advised to review this document in its entirety prior to completing any work. It is strongly recommended that all builders/purchasers obtain pre-approval for any proposed development.

2

SITING

2.1 Setbacks & Coverage

Consideration should be given to siting homes to provide optimal orientation and exposure to the streets and sidewalks. The site coverage and building setbacks are to conform to the requirements of the City of Spruce Grove Land Use Bylaw.

2.2 House Sizes

All houses shall be a minimum exterior width within 2'-0" of the building pocket width, as determined by the required setbacks, for each lot. Front attached garages shall not be offset by more than 4'-0".

2.3 Lot Grading

Lot grading must be in strict conformance to the latest approved subdivision grading plan. Do not grade to existing vacant lots or undeveloped land, but to the approved design elevation. Final grade certificates must be prepared by a Surveyor and approved by the City of Spruce Grove showing that lot grades comply with the subdivision grading plan as a condition of refund of Security Deposit.

2.3.1 Retaining Walls

Retaining walls, if required by the grading design or otherwise, are the responsibility of the builder/purchaser and must not compromise the overall grading design or lot drainage. Where visible from the street, retaining walls should be limited to a maximum exposed height of 3'-0"; walls higher than this should be designed in a stepped fashion to reduce the visual impact. All retaining walls should be designed and constructed with materials to complement the character of the home as part of the overall architectural composition. Any retaining wall is to be constructed completely within private property.

2.3.2 Risers

Front entry steps are to be a maximum of four (4) risers per set. Where the grade or design call for more the four risers, the run must be broken up with additional risers in the walk. Exceptions to this requirement may be granted in consideration of unique design and/or topography/grading.

3

ARCHITECTURAL DESIGN

3.1 Architectural Style

The architectural style in Copperhaven should be compatible with traditional styles such as arts & crafts, craftsman, heritage, homestead, or prairie. Transitional or modern interpretations of these styles may be allowed provided that they align with the guidelines set forth herein. The intent is to allow homeowners a variety of choice of home style while maintaining continuity through standards and level of architectural detail.

3.2 Repetition

The same house plan or model shall be separated by at least two (2) lots on the same side of the street and will not be allowed directly across the street. The same model may be allowed to be separated by one (1) lot if significant changes have been made to the house style, roof pitch, and exterior materials to the satisfaction of the designated consultant. The predominance of any one particular model on a streetscape will not be allowed.

In consideration of semi-detached (duplex), row house, or other form of attached dwelling units (grouping), the same grouping shall be separated by at least one (1) grouping of different design on the same side of the street and will not be allowed directly across the street unless significant changes have been made to the style, roof pitch, and exterior materials to the satisfaction of the Architectural Coordinator.

3.3 High Visibility Lots

Side and rear elevations that are visible to public open space, trails, stormwater ponds, neighbourhood streets and major roadways will require extra design detail on the visible elevations. The objective is to achieve the same stylistic definition and thoughtful detailing associated with the front on the other visible elevations. The use of masonry in similar proportion to the front elevation is encouraged, but not required, on high visibility elevations.

3.3.1 Side Elevations on Corner Lots

Side elevations on all corner lots and lots adjacent to walkways require an extra level of design detail. The side should have similar treatment (i.e., box outs, detailed battens, stone/brick, rooflines, other detailing, etc.) as the front elevation, as it is even more visible than the front elevation from the street. Trims must be included on all openings.

Two storey plans will be allowed on corner lots. Side elevations on corner lots must be submitted for approval. Side drive garages may be allowed on corner lots, subject to review.

3.3.2 Rear Elevations

High visibility rear elevations require special design consideration. These elevations must have openings, rooflines, or other details, that are suited to the wall area, and incorporate detailing consistent with the front elevation and overall design. Large expanses of blank wall space will not be approved. Trims must be included on all openings.

Where there is high visibility at the rear, repetition must be addressed at both the front and rear elevations and buildings will be designed to avoid mirror image of units.

3.3.3 Walkout Lots

Lots designated for a walkout, or partial walkout, basement require special design consideration at the rear elevation. In addition to the addressing features as set out for visible rear elevations above, these designs must incorporate architectural measures to avoid a towering, uninterrupted three-storey appearance and have a deck constructed at the main floor level to be consistent with the overall design. These measures may include: variation in wall planes; downhill sloping roofs; dormers; decks with decorative posts/columns; decorative windows; and absence of large expanses of blank wall space.

3.4 Height

The maximum building height is to be in conformance with the City of Spruce Grove Land Use Bylaw.

3.5 Roof Massing

The minimum roof pitch is to be 5/12. Lower roof pitches will be considered subject to home style and other design details. Some house types may require a steeper roof pitch to accommodate the streetscape. Specifically, bungalow designs will require a minimum 7/12 roof pitch.

The rooflines on any home must be consistent and complimentary to the total house design. Roof pitch and roof overhangs should be designed with consideration to other design details of the home.

Minimum roof overhang to be 1'-6" except over a cantilever, bay or boxed out window where the minimum overhand required is 0'-0". The rooflines on any house must be consistent or complimentary to the total design of the home. Fascia boards are to be a minimum of 0'-6". Raised shadow bands 0'-6" wide are required on all open gable ends.

3.6 Entry

An emphasis on entrance treatment is encouraged. Entrance ways should be covered at a level that encloses and protects the space – at the first level or a height proportionate to the design. The grand, but somewhat overwhelming, two storey pillared entries will be discouraged.

3.7 Doors & Windows

The style of the door, trim and/or crown should be consistent with what is appropriate to the style of the home. Sliding patio doors shall not be located on front elevations.

Windows shall have a vertical orientation. Windows may be ganged or separated by a minimum space of 0'-6".

If decorative grill or muntin bars are used, they must be on all windows facing the street including side windows of bays and any window within 3'-0" of the front corner.

3.8 Porches, Verandas & Decks

Verandas or porches are encouraged where the space allows. Wooden verandas and porches must be skirted to grade with closed risers. All exposed wood must match the cladding or trim colour.

Deck designs that are visible from any street or open space must be shown on the drawing submission and be built at the time of construction.

Handrails on exposed exterior decks are encouraged to be pre-finished aluminum and metal construction; glass, wood or other rails may be approved if in a decorative fashion consistent with the overall design.

3.9 Columns

Where columns or posts are used on the front elevation, they are to be of substantial form and solid in appearance. Columns should show structural integrity and include suitable detailing to reflect the style of the home. Masonry finishes are encouraged; however, not required.

3.10 Chimneys/Vents

All flues and vents are to be boxed in with the same finish and detailing as the home. Masonry finishes are encouraged when masonry is used elsewhere in the design; however, it is not required. Chimneys on corner lots are encouraged to extend down to grade where possible.

3.11 Garages

Garages shall be located in accordance with the garage location plan. For front attached garages the setback differential between the front of the garage and the developed floor area above should be kept between 1'-6" and 8'-0". The height between the overhead door and the eave line should be kept to a maximum of 2'-0". Where the design exceeds these requirements special treatment is required.

3.11.1 Rear Access Garages

A poured, broom finish concrete pad is to be provided at the time of home construction. The minimum pad size is 20' x 20' except on lots where the building pocket width is less than 20'-0". In this case the width shall be sized to suit the building pocket.

Rear access garages are to be finished in the same colours, materials and finishes as the house. All rear garages with elevations exposed to the street are to have an additional level of detail including trim detailing and a window on the exposed elevation.

3.12 Parging

Parging is to be minimized but must not be exposed more than 1'-0" above the landscaped grades on the front elevation and 2'-0" on high visibility elevations.

4

MATERIALS AND COLOURS

4.1 Roof Materials

Roof materials are to be asphalt shingles as follows:

IKO, Cambridge – Weatherwood, Dual Black, Harvard Slate, Driftwood

BP, Mystique – Twilight Grey, Shadow Black, Weathered Rock, Antique Wood

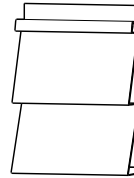
GAF, Timberline – Weathered Wood, Charcoal, Driftwood, Barkwood,

Other roof materials may be considered provided they meet the same minimum standards and are of similar colour as those listed. Wood shakes are not an acceptable roofing material.

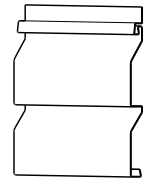
4.2 Primary Exterior Finish

Vinyl siding, smartboard, hardipanel/plank, hardiboard, stucco, brick or stone will be allowed. All horizontal vinyl siding must be Traditional/Clapboard profile, minimum exposure to be 3" and maximum to be 6". Dutch Lap/Designer profile will not be permitted.

Permitted
Traditional/
Clapboard Profile



Not Permitted
Dutch Lap Profile



Homes with a stucco finish must be complimented with stucco detailing appropriate to the particular style. Smooth finish and sand float finish is acceptable. Acrylic stucco is encouraged.

4.3 Masonry

Stone (authentic or cultured) or brick will be required on front elevations and must be used in portions reflecting structural integrity. There will be no minimum amount of masonry required but the placement of the masonry must ground the home and act as a structural element. Use of masonry on front garage surrounds is strongly encouraged. All masonry must wrap at least 2'-0" around all corners. Masonry should be used in conjunction with a soldier course or heavy trim at the top wherever it does not extend to the full wall or column height.

Masonry colours must complement the cladding material and colour.

4.4 Trim Materials

Trim material is to be wood, composite material, metal clad, vinyl or an approved equivalent. "Rough sawn" vinyl shakes and vertical siding will be allowed.

Trim is to be implemented as follows:

- Fascia boards are to be a minimum of 0'-6".
- Raised shadow boards 0'-6" wide are required on all open gable ends where the wall meets the soffit on every elevation.
- 0'-3" wide trim shall be used around all openings on front and high visibility elevations; wider sill and/or crown battens are encouraged.
- Corner trim boards on front elevations are to be a minimum of 0'-3" wide.
- Rainware/downspouts should be limited on exposed elevations – downspouts should be installed on side and rear elevations only. All rainware is to be prefinished and match the trim colour.
- No false fronts shall be permitted unless the material utilized on the front elevation of the dwelling is either brick or stone.

4.5 Colours

In keeping with the character of the neighborhood and in consideration of blended streetscapes, pastel colors are not permitted. Earthtone and rich, darker color palettes will dominate the streetscapes. White and lighter cladding colors may be used moderately in combination with darker palettes in contrast.

All exterior colour schemes will be approved on a lot by lot basis. The predominance of one colour or colour palette within a street or area will not be permitted. Streetscapes require a variety of wall cladding and trim colours, specific to a style.

Each colour scheme may require exact colour chips to be provided. The Architectural Coordinator reserves the right to approve or disapprove any colour scheme.

4.6 Doors

4.6.1 Front Entry Doors

Entry door colour may make a personal statement but must be coloured or wood finish; white doors will not be accepted on front elevations. Glazing in the door is not mandatory, but is highly encouraged.

4.6.2 Overhead Garage Doors

Overhead doors that face a public street, not a lane, shall be finished in the same colour as either the primary exterior finish or the trim colour. The use of glass panels in garage doors are highly encouraged for all front facing garages, starburst and diamond patterns will not be accepted. Overhead doors without glass panels may be considered provided that the design is consistent with the overall architectural style of the home, subject to the discretion of the Architectural Coordinator.

Rear garages with overhead doors that face a lane are encouraged to incorporate the same requirements; however, white overhead doors with no glass panels will be accepted.

4.6.3 Driveways & Walkways

Driveways and walks are to be plain concrete, exposed aggregate or stamped concrete. Coloured concrete may be used provided that swatches/samples have been submitted and approved. Unit pavers will not be permitted as the predominant material, however, the use of unit pavers as a trim detail is acceptable.

Front walks are to be minimum width of 3'-6".

The driveway is not to exceed the width of the garage to within 5'-0" of the garage front where the width may then flare to include a walkway to the front of the home or to the rear yard. A wider driveway may be considered if it can be demonstrated that it does not compromise drainage and does not detract from the streetscape and landscaping standards.

A deep tooled joint is recommended, a maximum of 5'-0" into driveway from the existing concrete sidewalk or curb and gutter. In the event of any future repair, the deep cut will facilitate any settlement and make the maintenance repair appear seamless.

5

LANDSCAPING

5.1

Planting

All yards must be landscaped to a minimum standard. A minimum of one (1) tree and sod are to be planted in the front yard and at least one additional landscape feature such as a shrub bed, flower bed, rock garden, etc. is to be provided. The minimum requirement for rear and side yards is sod; however, it is recommended that sideyards use a granular material (stone, rock, or wood mulch) over landscape fabric to be applied above final grade.

Trees are to be a combination of 0'-2" caliper deciduous or 6'-0" evergreen trees (spruce or pine only). Columnar evergreen trees will not be considered. Measurement for caliper size will be taken 0'-6" above the ground; caliper sizes less than 0'-2" will not be accepted.

All landscaped areas including rights-of-way (streets, boulevards or lanes) adjacent to the lot must be maintained such that they appear tidy and free of weed growth.

Landscaping is to be completed within 8 months of completion of the house, subject to seasonal limitations. Security Deposits will not be released until landscaping is completed, in accordance with the requirements.

5.2

Fencing

Fencing is to be coordinated with the approved subdivision fencing in both design and colour, and must be constructed according to the details attached. Wood fencing may be substituted with vinyl fencing of equivalent design and colour.

Wood fence colour shall be Monterey Grey or equivalent. Chain link fencing, where specified on the fencing plan, shall be Galvanized.

No fence will be permitted within the front yard setback. Fencing between private lots shall be centered on the shared property line. Fencing adjacent to any public lot, street or right-of-way shall be set 0'-6" within private property. Fences flanking a public street shall be installed 20'-0" from the corner cut and shall be a 'step-down' design. Fencing must be installed so that the bottom of the fence is 0'-2" above final design grade.

6

SUBDIVISION APPEARANCE

6.1

Signage

Signage will be allowed on a builder's lot only; no home builder or contractor signage will be allowed on medians or boulevards.

6.2

Excavation

Builders must ensure that all excavation is kept within the confines of the lot. Any spillage on a road, sidewalk or neighbouring lot must be removed immediately. Timely removal of excess material is the responsibility of the builder. Failure to comply resulting in the removal by the Developer will be invoiced to the builder.

6.3

Clean Up

Supply of bins by the builder is mandatory. Builders should encourage timely removal by all sub-trades of all construction debris and litter on building sites. Debris may not be burned, dumped or buried anywhere on site. Debris shall be contained within the builder supplied bin. Builders found negligent will be back charged for cleanup carried out by the Developer. Any general cleanup of the subdivision initiated by the Developer can and will be charged pro-rated to all builders.

6.4

Construction Activity

Builders will be allowed to store their materials and equipment, including utility trailers, only on the project site at their own risk. Items stored will be stored in an organized manor. Builders must ensure they do not trespass or disturb other properties.

7

OTHER GUIDELINES

7.1

Sump Pumps

Weeping tiles shall NOT be connected to the sanitary sewer. Weeping tiles should drain to a sump pump and the flows will be discharged to the surface by means of a sump pump; except, as directed to be connected to the storm water services as per the approved engineering drawings/requirements. This configuration shall comply with Municipal and Provincial standards.

7.2

Downspouts

Downspouts must be directed away from the house to streets or rear drainage structures. Storm water must not be directed onto adjacent lots.

7.3

Footings

Builders are responsible for inspecting footing elevations.

7.4

Accessory Buildings

Accessory buildings visible from an adjacent street, public lot or right-of-way must be consistent in style, finish and colour with the home.

8

APPROVAL PROCESS

8.1 Submission

Please forward submissions to the Architectural Coordinator:

Select Engineering Consultants Ltd.

100, 17413 107 Avenue NW
Edmonton, Alberta T5S 1E5
Tel: 780 651 5777 Fax: 780 651 5757
inquiries@selecteng.ca

8.2 Process

The builder and/or purchaser shall submit the following information to the Architectural Coordinator:

- a) a completed and signed application form;
- b) one complete drawing set (including floor plans, elevations, sections, etc.) at a scale of $\frac{1}{4}"=1'-0"$ or $1:50$;
- c) a plot plan identifying lot grades, floor elevations, setbacks, easements and house location prepared by the designated land surveyor; and
- d) a Security Deposit of \$5,000 for each lot will be required at the time of application.

Incomplete applications/submissions cannot be processed. The Developer or its Architectural Coordinator shall review the plan and recommend approval or rejection of the application based on the adherence of the plans to the guidelines within 5 business days of receipt of a complete application.

A copy of the application form and marked up set of plans shall be made available to the builder. The original application form and one set of similarly marked prints will be kept for future reference.

Any changes by the Builder and/or Purchaser from approved plans must be submitted to the Developer or its Architectural Coordinator for approval in writing prior to being undertaken.

8.3 Inspection & Release of Security

Upon being advised by the Builder of the completion of the house, landscaping and driveway, the Developer or Architectural Coordinator shall carry out an inspection and site review to confirm conformance with these guidelines and to ensure that no Municipal Improvements located within the lot or adjacent to the lot have been damaged. If damages have occurred to Municipal Improvements, the Developer shall repair the damage and be entitled to offset all costs incurred in repairing the damage to Municipal Improvements from any Security Deposit paid and invoiced for damages exceeding the Deposit.

Following the Final Approval, receipt of the confirmation of lot grading and the completion of landscaping and driveway, the completion of any deficiencies and confirmation that no Municipal Improvements have been damaged or that all damaged Municipal Improvements have been repaired, the Security Deposit or the remainder of the Security Deposit, after deducting amounts required to reimburse the Developer for the repair to Municipal Improvements, will be refunded by the Developer to the party paying the Security Deposit unless the Developer has received an assignment in writing executed by the party who paid the Security Deposit in favour of another party in which case the Assignee shall be entitled to receive payment of the Security Deposit.

Nothing herein shall be construed so as to restrict the liability of the Builder and/or Purchaser to the amount of the Security and the Builder and Purchaser covenant to indemnify the Developer against any damage, cost, claim or liability incurred by the Developer arising out of damage to Municipal Improvements for which the Builder and/or Purchaser is responsible in accordance with the provisions of the Restrictive Covenant or these Guidelines or the completion of any work required to be completed by the Builder or Purchaser in accordance with these Guidelines or the Restrictive Covenant to which these Guidelines are attached.

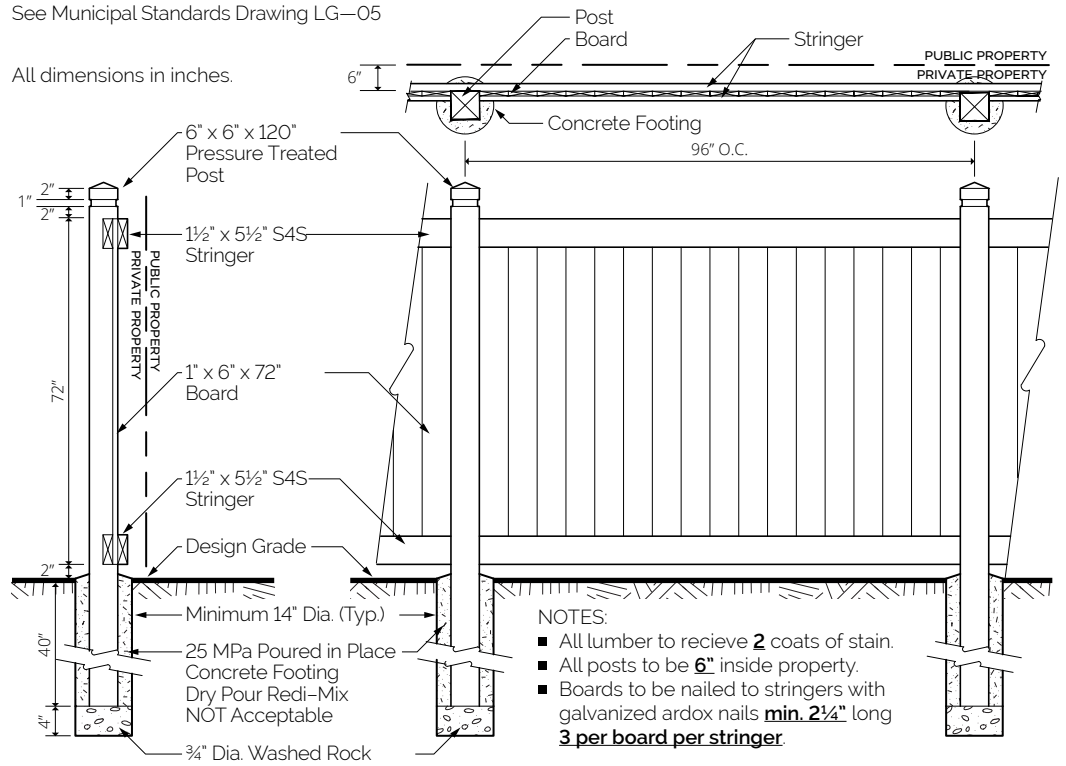
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APPENDIX B

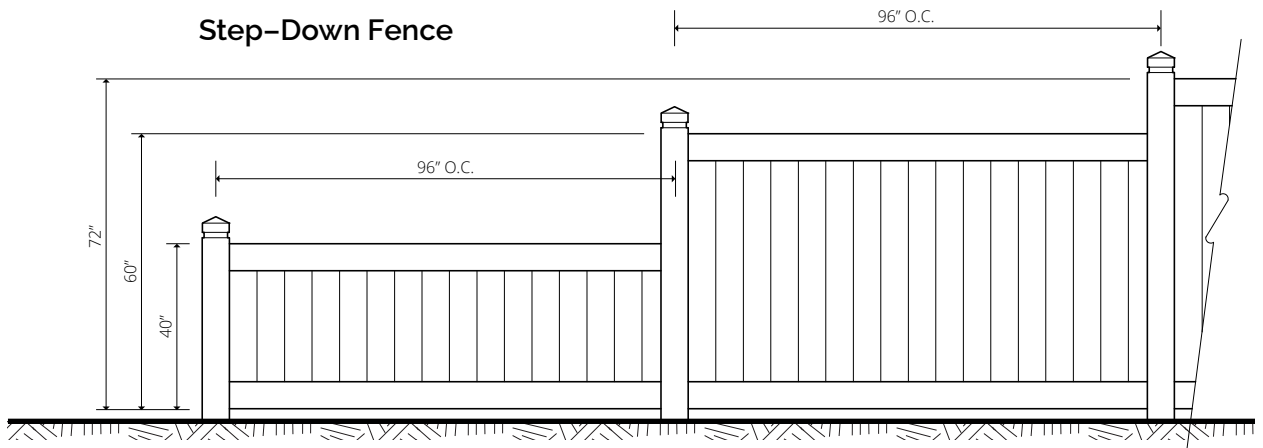
Wood Screen Fence Detail

City of Spruce Grove
Typical Wood Screen Fence
 See Municipal Standards Drawing LG-05

All dimensions in inches.



Step-Down Fence



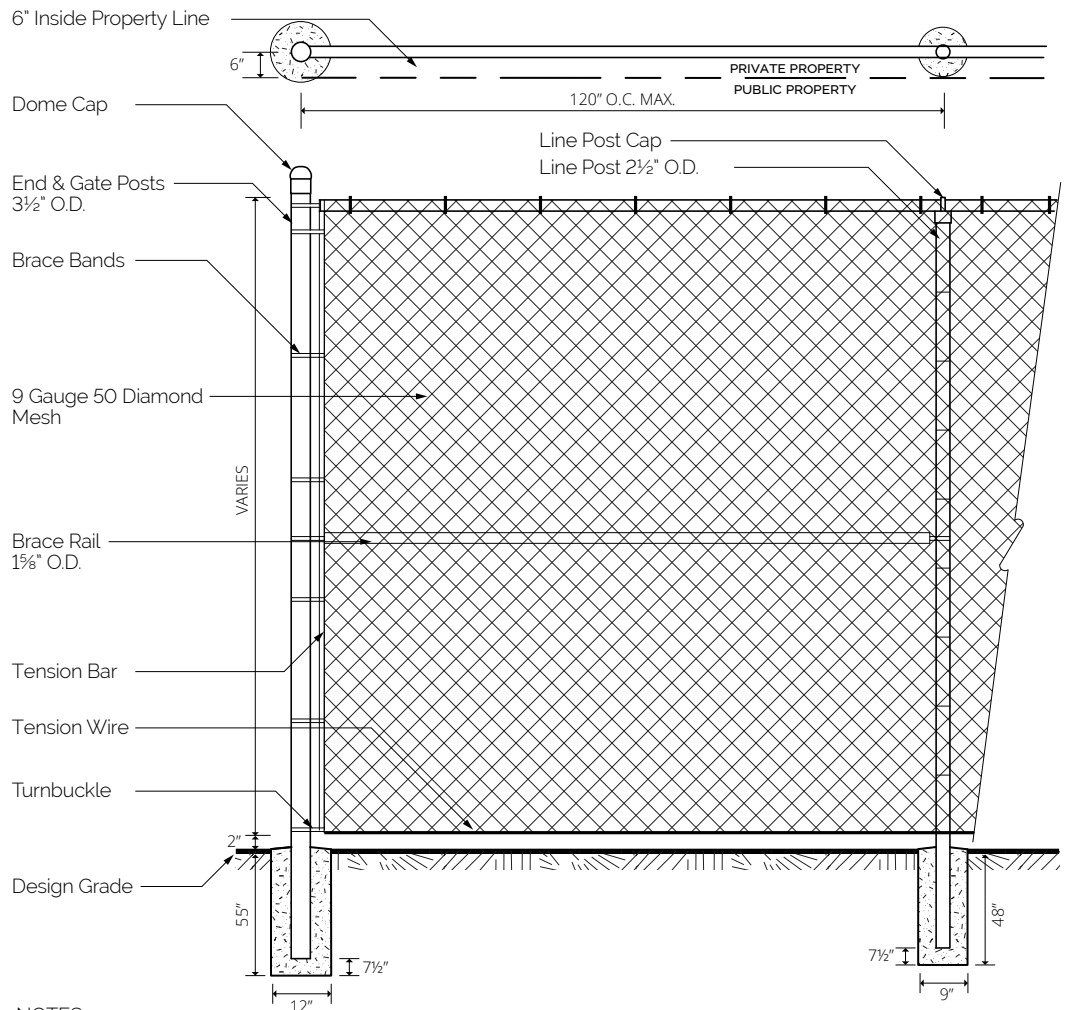
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APPENDIX C

Chain Link Fence Detail

City of Spruce Grove
Typical Chain Link Fence
 See Municipal Standards Drawing LG-04

All dimensions in inches.



NOTES:

- Spacing between posts not to exceed 10 feet.
- End, corner and gate posts 3 1/2" O.D., line posts 2 1/2" O.D., rails 1 1/2" O.D.
- All pipe schedule 40 hot dipped galvanized. All fastenings, wire & hardware galvanized steel.
- Augered holes, concrete type 50, 25 MPa, smooth finish, concrete to drain away from post at final grade.
- Middle brace rail at all end and gate sections.
- Tie wires for mesh to line posts, rails and tension wire 12" O.C.
- Tension bar brace bands at minimum 12" O.C.